

PLAN REFERENCE

WORCESTER DISTRICT
REGISTRY OF DEEDS
PLAN BOOK PLAN
656 120
485 104

DEED REFERENCE

WORCESTER DISTRICT
REGISTRY OF DEEDS
DEED BOOK PAGE
49690 137
4563 19
2052 289

ZONE - RURAL/AGRICULTURAL

MIN. AREA - 90,000 S.F.
MIN. FRONTAGE - 200'
SETBACKS:
SIDE - 25'
FRONT - 50'
REAR - 25'

NO RECORDED ZONING VARIANCES
FOUND FOR THIS PROPERTY

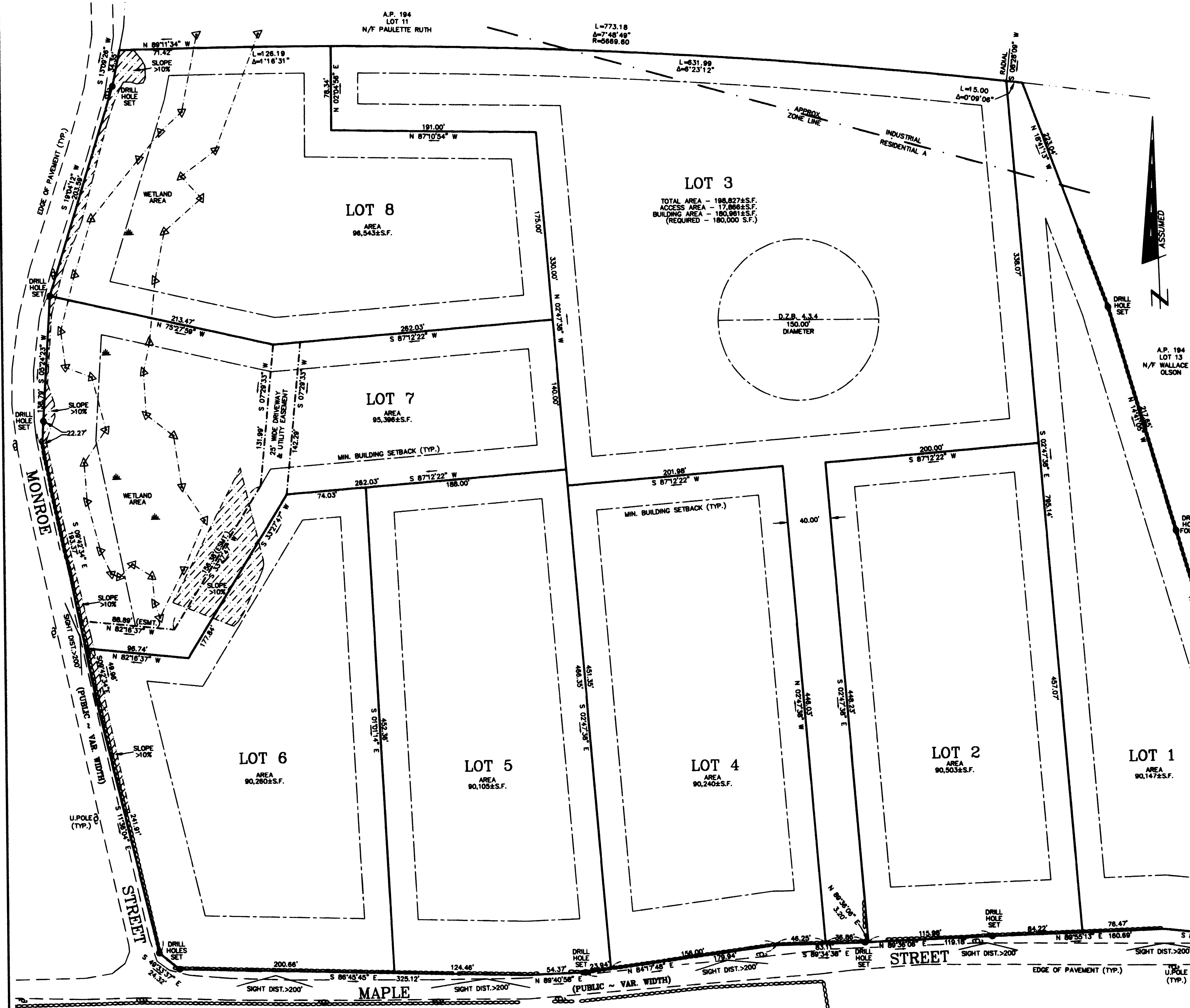
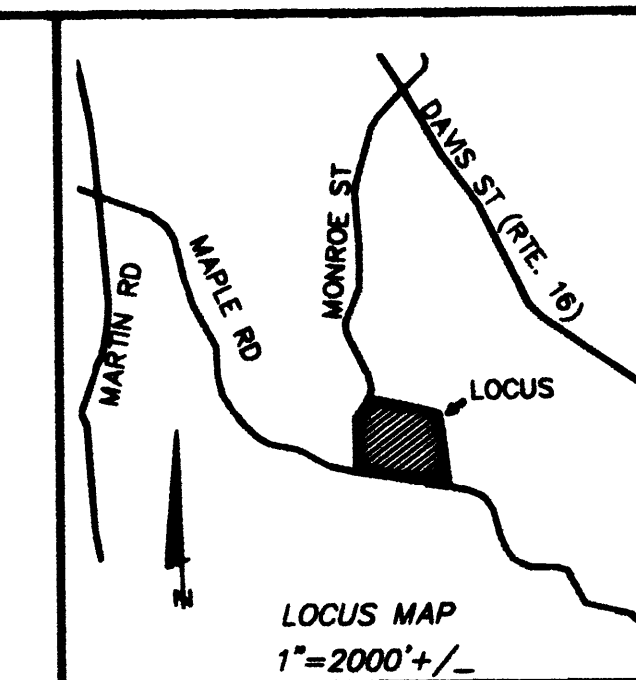
NOTES:

- 1) THE EXISTING GRADE EXCEEDS 10% ON LOTS 6, 7, & 8 AS SHOWN. SLOPES OF 10% OR MORE WITHIN THE BUILDING SETBACK LIMITS WILL BE GRADED TO ALLOW FOR ACCESS AS REQUIRED
- 2) REQUIRED SIGHT DISTANCES TO BE ACHIEVED BY GRADING AND CUTTING TREES AND BRUSH IF NECESSARY
- 3) NO ROAD CULVERTS WERE OBSERVED WITHIN THE LIMITS OF THIS PLAN ALONG MAPLE AND MONROE STREETS
- 4) ALL MONUMENTS WERE OBSERVED AS SHOWN BETWEEN 10/3/12 AND 10/13/12

MGL 250 CMR 6.02

THIS SURVEY AND PLAN WAS PREPARED BY THEODOLITE AND ELECTRONIC DISTANCE METER METHODS IN ACCORDANCE WITH PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS, OCTOBER 13, 2012

David J. Kunzholz 1/22/13



The following is neither a statement nor a certification but is transcribed from the Town of Douglas Zoning Bylaws - 10/25/2004 (amended) to satisfy the requirement of the Town of Douglas Planning Board.

4.3 LOT FRONTAGE EXCEPTION
Lots having less than the normally required lot frontage may be created and built upon for residential use provided that such lots are shown on a plan endorsed by the Planning Board "Approved for Reduced Lot Frontage" and bear a statement to the effect that such "Approved for Reduced Lot Frontage" lot shall not be further divided to reduce its area or to create additional building lots. Plans shall be so endorsed if meeting each of the following, but not otherwise.

4.3.1 Area
The area of said lot is at two times (2x) the required area for RA zoned parcels and three times (3x) the required area for all VR zoned parcels not including the "Access Strip". "Access strip" in this case shall mean any portion of the lot between the street and the point where lot width equals one hundred (100) feet or more for the RA zone and 75 (seventy-five) feet or more for the VR zone.

4.3.2 Location
Said lot shall be entirely located in a residential zoning district and have frontage on a Public way as of [Date of Town Meeting].

4.3.3 Building Line
The building line shall be at least one hundred and fifty (150) feet in the RA zone and seventy five (75) feet in the VR zone and designated on the plan.

4.3.4 Lot Shape
The lot creation plan shall demonstrate that a circle with a diameter of one hundred and fifty (150) feet can be drawn on the lot in the RA zone and of seventy-five (75) feet in the VR zone.

4.3.5 Lot Width
Lot width is at no point less than 40 feet, and lot frontage is not less than 40 feet. Egress over the frontage shall create no greater hazard owing to grade and visibility limitations than would be normal for a standard lot in the same area or safe access must be demonstrated via an easement or common drive from an adjacent parcel.

4.3.6 Limits
Not more than one (1) rear lot shall be created from a property, or a set of contiguous properties held in common ownership as of [date of Town Meeting]. Documentation to this effect shall be submitted to the Building Inspector. The Building Inspector shall not issue a building permit for any rear lot without first consulting with the Planning Board to verify compliance with this provision. No lot having less than normally required frontage shall be endorsed by the Planning Board if it abuts another such lot, except that the Planning Board may approve one and only one such abutting lot if it determines that such approval will not derogate from the purpose of the Zoning Bylaw and will result in responsible development of the subject property. The Planning Board shall not, under any circumstances, endorse any Plan as "Approved for Reduced Lot Frontage" where endorsement of such a Plan would create more than two contiguous reduced frontage lots.

4.3.7 Rear and Side Yard
The principal structure shall be located on the lot with rear and side yards equal to or in excess of those required in the district.

4.3.8 Setback from Street
The single-family dwelling located on the lot must be set back at least 200 feet from the street providing frontage.

Lot 3 as shown hereon intended for residential use only. Approved for Reduced Lot Frontage lot shall not be further divided to reduce its area or to create additional building lots as required in the Town of Douglas Zoning Bylaws under Section 4.3

DATE: _____

(FOR REGISTRY USE ONLY)

THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS AND IN COMPLIANCE WITH THE RULES AND REGULATIONS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS. THIS CERTIFICATION IS INTENDED TO MEET THE REQUIREMENTS OF THE REGISTRY OF DEEDS AND IS NOT A CERTIFICATION OF THE TITLE OR OWNERSHIP OF THE LAND SHOWN HEREON.



David J. Kunzholz 1/22/13

APPROVAL UNDER SUBDIVISION CONTROL LAW NOT REQUIRED
DOUGLAS PLANNING BOARD

BEING A MAJORITY

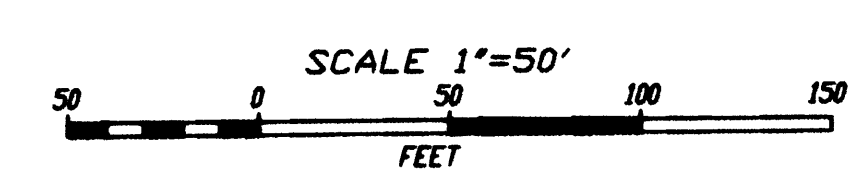
DATE _____

PLANNING BOARD ENDORSEMENT DOES NOT NECESSARILY MEAN THAT THIS PLAN CONFORMS TO THE CURRENT ZONING REQUIREMENTS

ASSESSORS MAP 194
LOT 12

APPLICANT & OWNER OF RECORD:
WEBSTER VENTURES LLC
200 GORE ROAD
WEBSTER, MA 01570

**DIVISION
PLAN OF LAND
IN
DOUGLAS, MASS.**



THE LAND SHOWN HEREON IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY A FULL EXAMINATION OF THE TITLE.

SURVEYED FOR:
WEBSTER VENTURES LLC
DATE: DECEMBER 27, 2012
SCALE: 1" = 50'
BY _____

CIVIL SITE ENGINEERING LLC
128 WEST HARTFORD AVE.
UXBRIDGE, MASS. 01569

SHEET 1 OF 1 12-137-01